



Promoting the wise use of land  
Helping build great communities

**COUNTY OF SAN LUIS OBISPO  
DEPARTMENT OF PLANNING AND BUILDING  
STAFF REPORT**

**Tentative Notice of Action**

MEETING DATE <b>September 2, 2005</b>	CONTACT/PHONE <b>Brian Pedrotti</b>	APPLICANT <b>Kevin &amp; Patricia Martin</b>	FILE NO. <b>DRC2004-00242</b>
EFFECTIVE DATE <b>September 16, 2005</b>	<b>788-2788</b>		
<b>SUBJECT</b> Request by Kevin Martin to allow construction of a 3,277 square foot primary residence and maximum 600 square foot guest house, which will serve as the primary residence while the larger primary residence is being constructed. The project requires a Minor Use Permit because the applicant is requesting to waive the 50-foot distance requirement from a guesthouse to the primary residence to allow the guesthouse to be 105 feet from the primary residence. The project is located at 224 Squire Canyon Road in the Residential Suburban land use category, approximately 1.5 miles north of the City of Pismo Beach, in the San Luis Bay (Inland) Planning Area.			
<b>RECOMMENDED ACTION</b> Approve Minor Use Permit DRC2004-00242 based on the findings listed in Exhibit A and the conditions listed in Exhibit B			
<b>ENVIRONMENTAL DETERMINATION</b> A Class 3 Categorical Exemption was issued on August 12, 2005.			
<b>LAND USE CATEGORY</b> Residential Suburban	<b>COMBINING DESIGNATION</b> None	<b>ASSESSOR PARCEL NUMBER</b> 076-273-018	<b>SUPERVISOR DISTRICT(S)</b> 3
<b>PLANNING AREA STANDARDS:</b> Sec. 22.106.020 – San Luis Bay Rural Area Standards. Sec. 22.106.020.E.1. – Squire Canyon. Density limitation, limitation on use. Does the project meet applicable Planning Area Standards: Yes - see discussion			
<b>LAND USE ORDINANCE STANDARDS:</b> 22.10.090 - Height Measurements, 22.10.140 - Setbacks, 22.30.470 - Secondary Dwellings Does the project conform to the Land Use Ordinance Standards: Yes - see discussion			
<b>FINAL ACTION</b> This tentative decision will become final action on the project, effective on the 15 <sup>th</sup> day following the administrative hearing, or on September 16, 2005, if no hearing was requested unless this decision is changed as a result of information obtained at the hearing or is appealed.			
<b>EXISTING USES:</b> Vacant			
<b>SURROUNDING LAND USE CATEGORIES AND USES:</b> North: Residential Suburban / residence South: Residential Suburban / residence East: Residential Suburban / residence West: Residential Suburban / residence			
ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE DEPARTMENT OF PLANNING & BUILDING AT: COUNTY GOVERNMENT CENTER ♦ SAN LUIS OBISPO ♦ CALIFORNIA 93408 ♦ (805) 781-5600 ♦ FAX: (805) 781-1242			

OTHER AGENCY / ADVISORY GROUP INVOLVEMENT: The project was referred to: Public Works, Ag Commissioner, CDF, City of San Luis Obispo, RWQCB	
TOPOGRAPHY: Nearly level to steeply sloping	VEGETATION: Coast live oak, grasses, forbs
PROPOSED SERVICES: Water supply: On-site well Sewage Disposal: Individual septic system Fire Protection: CDF	ACCEPTANCE DATE: August 1, 2005

## DISCUSSION

### LAND USE ORDINANCE STANDARDS:

#### 22.30.410 – Guesthouses and home offices

- a. Limitation on use: Guesthouse may contain living area, maximum of two bedrooms, one bathroom, wet bar, single sink, and under-counter refrigerator not located in separate room. Guesthouse may not contain cooking or laundry facilities. Shall not be allowed on site containing secondary residence. Shall not be provided an electric meter separate from principal residence. As proposed, the project meets these standards.
- b. Location: Not located more than 50 feet from principal residence, or as otherwise approved through a Minor Use Permit, and shall not be located within any required setback area. The applicant has requested this Minor Use Permit in order to locate the guest house 105 feet from the primary residence.

22.10.140 - Setbacks: Setbacks for the project site are 25 feet in the front and 30 feet on the sides and rear of the property.

### STAFF COMMENTS:

The proposed guesthouse meets all of the standards in Section 22.30.410 except the standards for location to be not more than 50 feet from the principal residence. The proposed guesthouse is approximately 105 feet from the primary residence.

When considering a waiver request staff evaluates if the additional distance from the primary residence will cause any potential environmental or aesthetic concerns and verifies compatibility with the neighborhood. After visiting the site staff believes the additional distance will not cause any of the previously mentioned concerns and is compatible with the area. The applicant has proposed development on the two nearly level areas on the site, the remainder of the property being steeply sloped with significant vegetation. The sites of the proposed guesthouse and primary residence have been cleared for a number of years, and no impacts to existing vegetation are anticipated. The buildings will be screened from public view by topography and existing vegetation.

Timing of Approval: The site is currently undeveloped. The applicant is requesting approval of a primary dwelling to be converted to guesthouse status at a later date on the property in the absence of a primary residence. The intent of the applicant is to "lock in" a waiver from the distance requirements in anticipation of developing a future primary residence. Upon staff's request, the applicant has provided preliminary elevations and floor plans for the future primary residence, which will provide a measure of assurance of the future proposed development. Staff has included a condition that applicant will need to submit a permit for the primary residence prior to issuance of a building permit for the proposed guesthouse.

**AGENCY REVIEW:**

Public Works – No concerns regarding Public Works issues. Need guest house floor plan.

CDF – See attached fire safety plan. Requires setbacks, roof coverings, fire sprinkler system, water storage tank and connection, access road and driveway standards, and vegetative clearance.

**LEGAL LOT STATUS:**

The existing lot was legally created by a recorded map at a time when that was a legal method of creating lots.

Staff report prepared by Brian Pedrotti and reviewed by Kami Griffin.

## EXHIBIT A - FINDINGS

### *CEQA Exemption*

- A. The project qualifies for a Categorical Exemption (Class 3) pursuant to CEQA Guidelines Section 15303 because the project is considered new construction of limited small new facilities that will not cause a significant impact to the environment.

### *Minor Use Permit*

- B. The proposed project or use is consistent with the San Luis Obispo County General Plan because the use is an allowed use and as conditioned is consistent with all of the General Plan policies.
- C. As conditioned, the proposed project or use satisfies all applicable provisions of Title 22 of the County Code.
- D. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because the primary residence and guesthouse do not generate activity that presents a potential threat to the surrounding property and buildings. This project is subject to Ordinance and Building Code requirements designed to address health, safety and welfare concerns.
- E. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because primary residence and guesthouse are similar to, and will not conflict with, the surrounding lands and uses.
- F. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project because the project is located on Squire Canyon Road, a local road constructed to a level able to handle any additional traffic associated with the project

### *Guesthouse Adjustments*

- G. Modification of the distance a guesthouse can be located from a primary dwelling from 50 feet to allow a guesthouse to be located 105 from the primary dwelling is justified because there are specific conditions of the site that make the standard ineffective. These conditions consist of existing topography which allows development only on two nearly level areas on the property. Further, no significant visual impacts are anticipated due to topography and existing vegetation.

## **EXHIBIT B - CONDITIONS OF APPROVAL**

### **Approved Development**

1. This permit authorizes the construction of a 600 square foot primary dwelling which may be converted to Guesthouse status at a later date upon application and issuance of a construction permit for a subsequent dwelling that will become the Primary Dwelling in place of this residence. The primary residence is proposed to be 3,277 square feet. Buildings shall be a maximum of 35 feet in height from average natural grade.

Waiver of the distance standard of LUO Section 22.30.410 is approved by this Minor Use Permit. Specifically, the distance waiver of 50 feet is approved to allow a maximum of 105 feet between the primary residence and guesthouse.

The future conversion of this residence to a Guesthouse will be subject to the rules governing the establishment of Guesthouse in place at that time. No provision is made or implied by this approval that the rules in place at this time will be vested for a future Guesthouse unless the future dwelling which will be subsequently become the primary dwelling is also vested before these rules are changed. The future primary dwelling will become vested at the point a construction permit has been issued for it.

### **Conditions required to be completed at the time of application for construction permits**

#### ***Site Development***

2. **At the time of application for construction permits** plans submitted shall show all development consistent with the approved site plan, floor plan, architectural elevations and landscape plan.

#### ***Drainage***

3. **At the time of application for construction permits**, the applicant shall provide a drainage plan to the Public Works Department for review and approval, subject to Section 23.05.044 of the Land Use Ordinance.

#### ***Fire Safety***

4. **At the time of application for construction permits**, all plans submitted to the Department of Planning and Building shall meet the fire and life safety requirements of the California Fire Code. Requirements shall include, but not be limited to those outlined in the Fire Safety Plan, prepared by the CDF/County Fire Department for this proposed project and dated June 8, 2005.

#### ***Services***

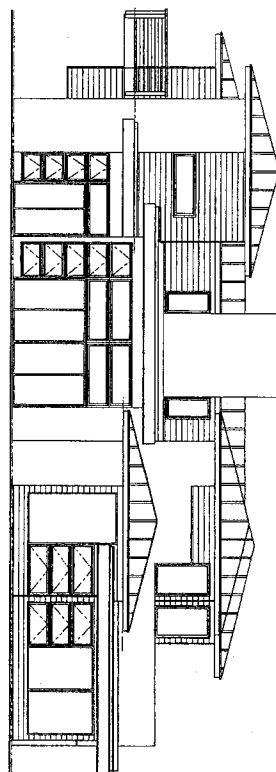
5. **At the time of application for construction permits**, the applicant shall submit evidence that there is adequate water to serve the proposal, on the site.
6. **At the time of application for construction permits**, the applicant shall submit evidence that a septic system, adequate to serve the proposal, can be installed on the site.

**Conditions to be completed prior to occupancy or final building inspection / establishment of the use**

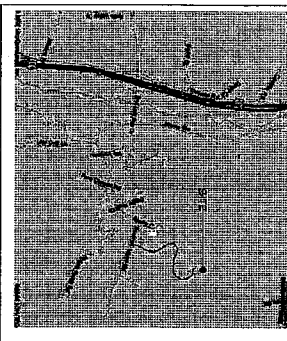
7. **Prior to occupancy or final inspection**, which ever occurs first, the applicant shall obtain final inspection and approval from CDF of all required fire/life safety measures.
8. **Prior to occupancy of any structure associated with this approval**, the applicant shall contact the Department of Planning and Building to have the site inspected for compliance with the conditions of this approval.

**On-going conditions of approval (valid for the life of the project)**

9. This land use permit is valid for a period of 24 months from its effective date unless time extensions are granted pursuant to Land Use Ordinance Section 22.64.070 or the land use permit is considered vested. This land use permit is considered to be vested once a construction permit has been issued and substantial site work has been completed. Substantial site work is defined by Land Use Ordinance Section 22.64.080 as site work progressed beyond grading and completion of structural foundations; and construction is occurring above grade.
10. All conditions of this approval shall be strictly adhered to, within the time frames specified, and in an on-going manner for the life of the project. Failure to comply with these conditions of approval may result in an immediate enforcement action by the Department of Planning and Building. If it is determined that violation(s) of these conditions of approval have occurred, or are occurring, this approval may be revoked pursuant to Section 22.74.160 of the Land Use Ordinance.



# MARTIN RESIDENCE



**SHEET INDEX**

C-3.0	PRELIMINARY SITE / GRADING PLAN
A-1.0	FIRST FLOOR PLAN
A-1.1	SECOND FLOOR PLAN
A-1.2	ROOF PLAN
A-1.3	INTERIOR ELEVATIONS - EAST & NORTH
A-1.4	INTERIOR ELEVATIONS - WEST & SOUTH
TOTAL	07 SHEETS

## PROJECT DATA

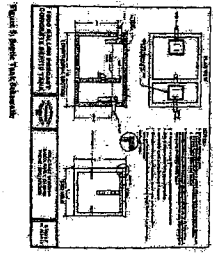
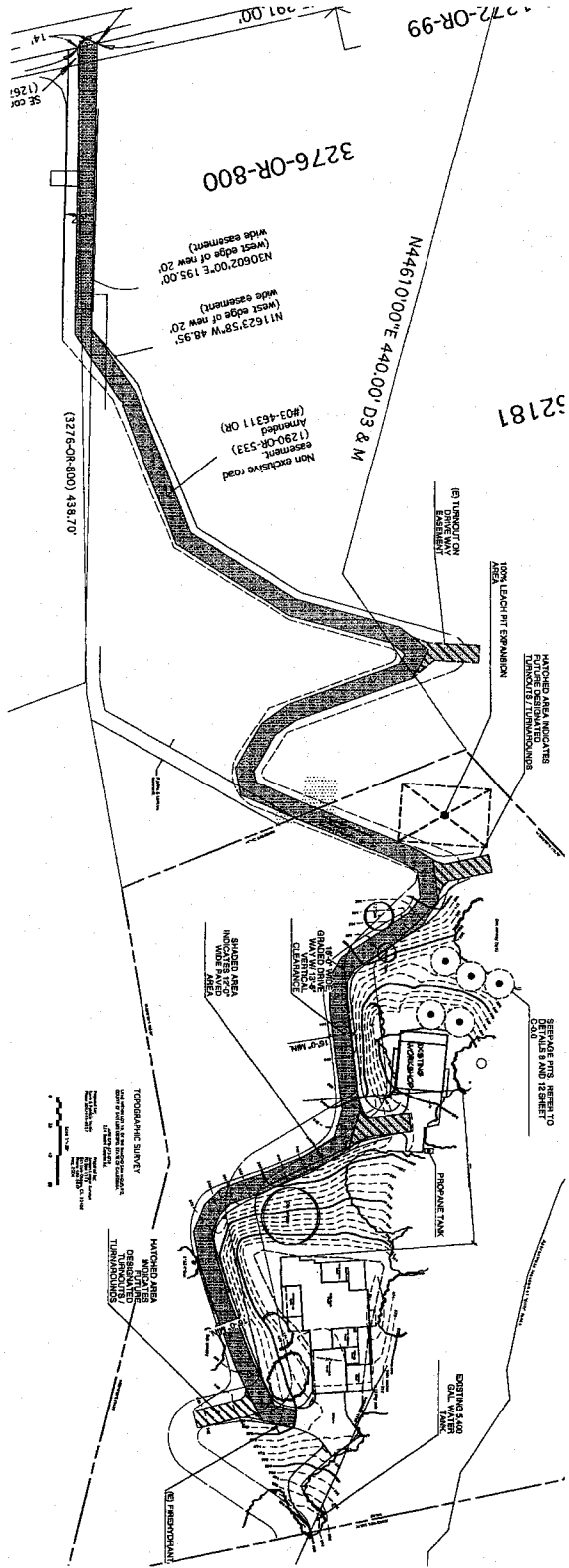
[illegible]

**DEFERRED APPROVALS**

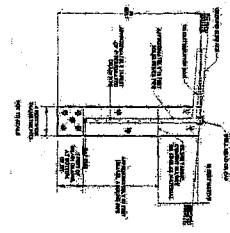
ALL MATERIAL, DOCUMENTS AND/OR COVERED MATERIAL, HEREIN SHALL BE SUBMITTED TO THE AGENCY ON BALANCE OR RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL, WITH A NOTATION INDICATING THAT THE REFERENCED MATERIAL, DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE COVERED MATERIAL, THEREAFTER, SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND MATERIAL DOCUMENT HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

## SCHEDULE OF CHANGES

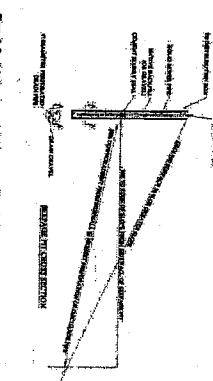
## SCHEDULE OF CHANGES



16 SEPTIC TANK SCHEMATIC  
N.T.S.



12 SEEPAGE PIT CROSS SECTION  
N.T.S.



8 DAYLIGHT REQUIREMENTS FOR WASTEWATER DISPOSAL SYSTEM  
N.T.S.



[illegible]

0007	DEPT'S PHYSIOLOGICAL CONTROL
0008	NIGHT THERMODYNAMIC CONTROLS
0009	NIGHT THERMODYNAMIC ELAVATION
0010	RESEARCH
0011	RESEARCH
0012	RESEARCH
0013	RESEARCH
0014	RESEARCH
0015	RESEARCH
0016	RESEARCH
0017	RESEARCH
0018	RESEARCH
0019	RESEARCH
0020	RESEARCH
0021	RESEARCH
0022	RESEARCH
0023	RESEARCH
0024	RESEARCH
0025	RESEARCH
0026	RESEARCH
0027	RESEARCH
0028	RESEARCH
0029	RESEARCH
0030	RESEARCH
0031	RESEARCH
0032	RESEARCH
0033	RESEARCH
0034	RESEARCH
0035	RESEARCH
0036	RESEARCH
0037	RESEARCH
0038	RESEARCH
0039	RESEARCH
0040	RESEARCH
0041	RESEARCH
0042	RESEARCH
0043	RESEARCH
0044	RESEARCH
0045	RESEARCH
0046	RESEARCH
0047	RESEARCH
0048	RESEARCH
0049	RESEARCH
0050	RESEARCH
0051	RESEARCH
0052	RESEARCH
0053	RESEARCH
0054	RESEARCH
0055	RESEARCH
0056	RESEARCH
0057	RESEARCH
0058	RESEARCH
0059	RESEARCH
0060	RESEARCH
0061	RESEARCH
0062	RESEARCH
0063	RESEARCH
0064	RESEARCH
0065	RESEARCH
0066	RESEARCH
0067	RESEARCH
0068	RESEARCH
0069	RESEARCH
0070	RESEARCH
0071	RESEARCH
0072	RESEARCH
0073	RESEARCH
0074	RESEARCH
0075	RESEARCH
0076	RESEARCH
0077	RESEARCH
0078	RESEARCH
0079	RESEARCH
0080	RESEARCH
0081	RESEARCH
0082	RESEARCH
0083	RESEARCH
0084	RESEARCH
0085	RESEARCH
0086	RESEARCH
0087	RESEARCH
0088	RESEARCH
0089	RESEARCH
0090	RESEARCH
0091	RESEARCH
0092	RESEARCH
0093	RESEARCH
0094	RESEARCH
0095	RESEARCH
0096	RESEARCH
0097	RESEARCH
0098	RESEARCH
0099	RESEARCH

[illegible][illegible][illegible]

1. ALLOPE. REFER TO SOLID  
2. RE INFORMATION  
3. AT LOWER END. REFER TO



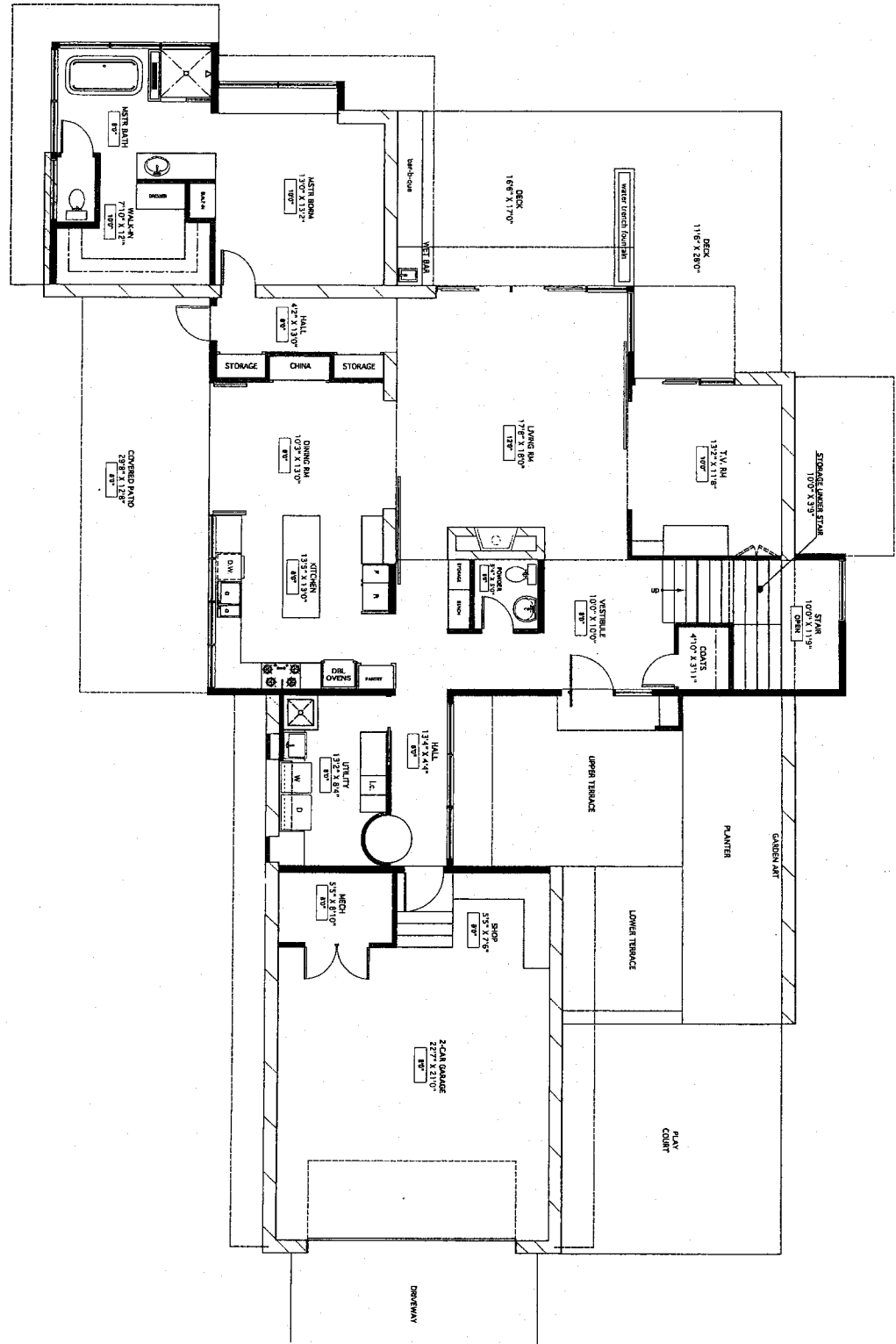
554 Lawrence Drive  
San Luis Obispo, CA  
93401 805-594-0771

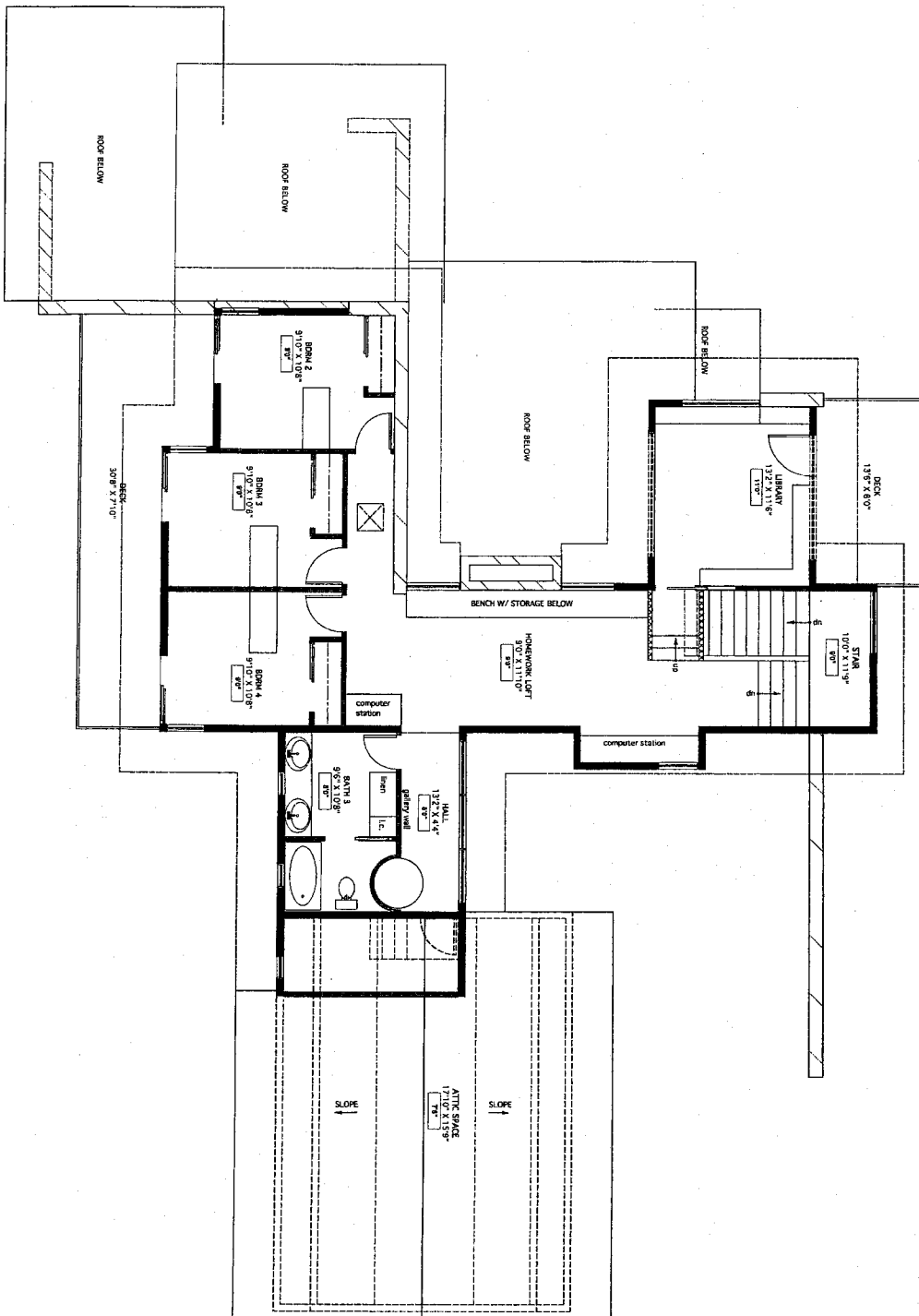


DATE	ISSUE
10/24/2005	MINOR UP BUGFIXING

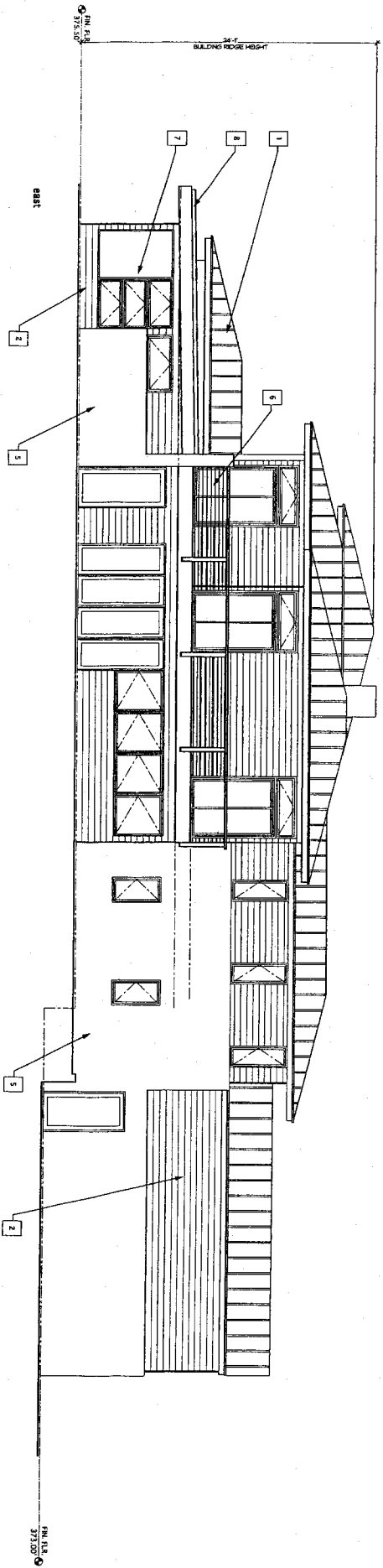
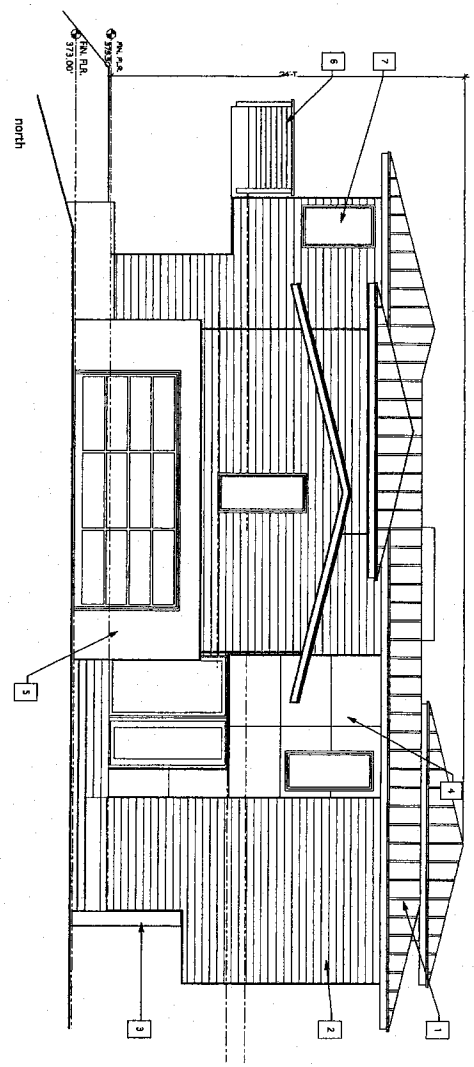
**PRE-LIMINARY SITE /  
GRADING PLAN**

**C-1.0**





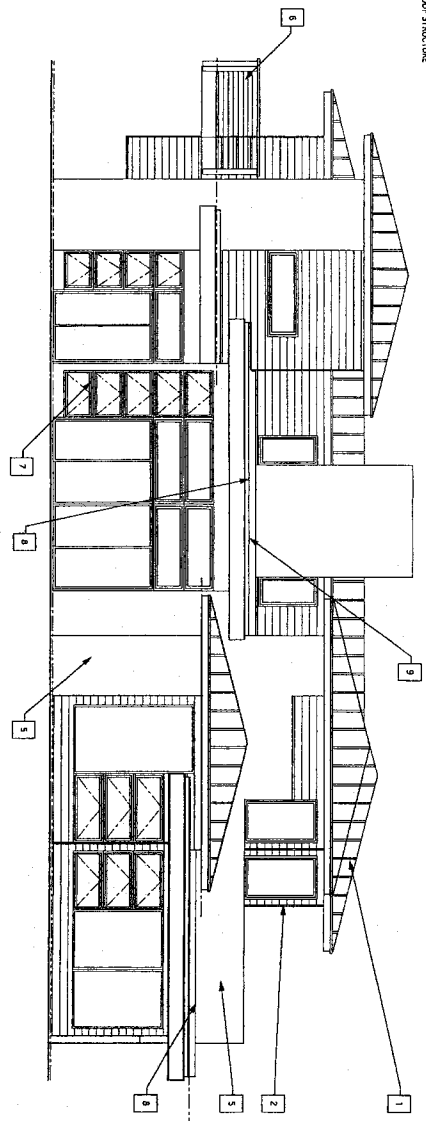
- EXTERIOR ELEVATION KEY NOTES:**
1. STANDING SEAM, METAL ROOFING
  2. FIBER CEMENT SIDING
  3. SMOOTH, FIBER CEMENT SIDING
  4. SMOOTH, FIBER CEMENT SIDING
  5. TILT-UP CONCRETE WALL PANELS, STAINED CONCRETE
  6. STANDING SEAM, METAL ROOFING
  7. ALUMINUM WINDOW SYSTEM
  8. BUILT-UP ROOF SYSTEM
  9. ALUMINUM WINDOW SYSTEMS MOUNTED TO ROOF STRUCTURE
  10. OUTDOOR KITCHEN (BUILT-IN)
  11. DASHED LINE INDICATES FLOOR STRUCTURE BEYOND



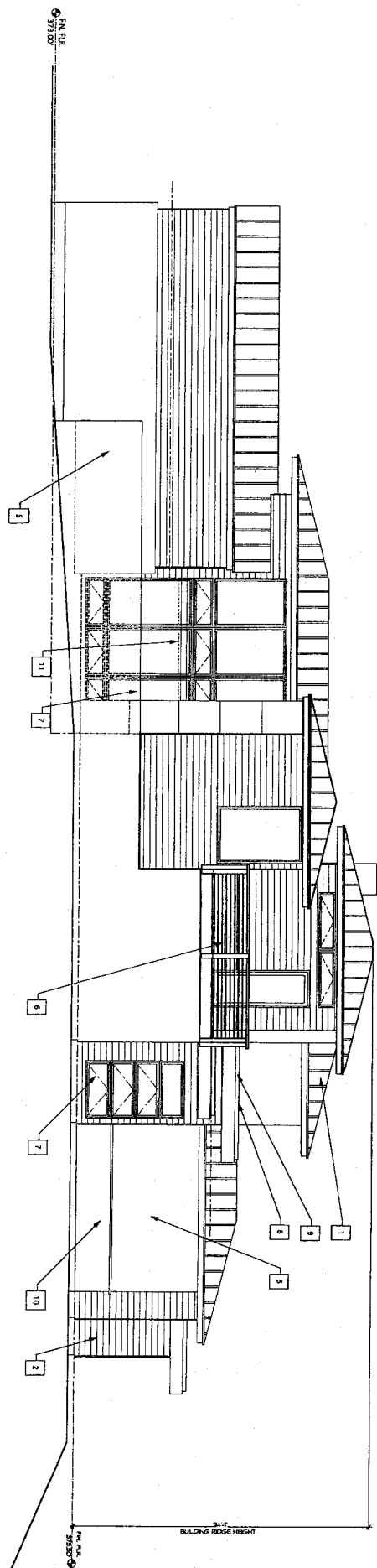
1/4" = 1'-0"

EXTERIOR ELEVATIONS

- NOTES
1. EXISTING SPAN, METAL ROOFING
  2. FIBER CEMENT SIDING
  3. CONCRETE SILL PANEL
  4. ROOFING SYSTEM
  5. TILT-UP CONCRETE WALL PANELS, STAINED CONCRETE
  6. STAINLESS STEEL CABLE RAIL SYSTEM
  7. STAINLESS STEEL CABLE RAIL SYSTEM
  8. BUILD UP ROOF SYSTEM
  9. PHOTOVOLTAIC ROOF PANELS MOUNTED TO ROOF STRUCTURE
  10. OUTDOOR KITCHEN (BUILT IN)



SOUTH



WEST



554 Lawrence Drive  
San Luis Obispo, CA  
93401 805-594-0771



**MARTIN RESIDENCE**  
*WHISPERING VISTA*  
224 SQUIRE CANYON RD  
SAN LUIS OBISPO

DATE: 12/15/10  
PROJECT: MARTIN RESIDENCE  
DRAWN BY: J. L. Martin  
CHECKED BY: J. L. Martin

04/007

EXTERIORS  
SOUTH AND WEST

A-9.1



6 6

SAN LUIS OBISPO COUNTY  
DEPARTMENT OF PLANNING AND BUILDING

VICTOR HOLANDA, AICP  
DIRECTOR

MAY 16 2005

THIS IS A NEW PROJECT REFERRAL

DATE: 5/12/05

FROM

PW

FROM

South Co. Team  
(Please direct response to the above)

Martin  
DRC 2004-00242  
Project Name and Number

Development Review Section (Phone: 788-2009 ) \*OR ASK THE SWITCH-BOARD FOR THE PLANNER

PROJECT DESCRIPTION: mup -> new 3,277 sf 3FD w/ attached 2-car garage. Located off Squire Cyn. Rd., slo on 3.5 acres. APN: 076-273-018. Secondary dwelling/guest house to be 600 sf.

Return this letter with your comments attached no later than: 5/27/05

PART I IS THE ATTACHED INFORMATION ADEQUATE FOR YOU TO DO YOUR REVIEW?  
? YES  
NO

PART II ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?  
✓ NO (Please go on to Part III)  
YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)

PART III INDICATE YOUR RECOMMENDATION FOR FINAL ACTION. Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial. IF YOU HAVE "NO COMMENT," PLEASE INDICATE

SITE PLAN DOES NOT SHOW GUEST HOUSE, NO FLOOR PLAN FOR GUEST HOUSE (NO KITCHEN, NO LAUNDRY). NO SECONDARY DWELLINGS UNTIL LOT IS ABOVE 6 AC. APPL SUGGESTS GUEST HOUSE TO BE CO-LOCATED WITH SHOP 114 ft FROM MAIN HOUSE WHERE OVD ALLOWS 50 ft. THERE ARE NO CONCERNS IN PW AREA. REFERRAL SENT TO SQUIRE CYN BSD?

01 JUNE 2005  
Date

GOODMAN  
Name

5252  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

DRC2004-00242

## APPLICATION TYPE CHECK ALL THAT APPLY

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Emergency Permit                        | <input type="checkbox"/> Tree Permit                              | <input type="checkbox"/> Plot Plan                   |
| <input type="checkbox"/> Zoning Clearance                        | <input type="checkbox"/> Site Plan                                | <input checked="" type="checkbox"/> Minor Use Permit |
| <input type="checkbox"/> Conditional Use Permit/Development Plan |   | <input type="checkbox"/> Variance                    |
| <input type="checkbox"/> Surface Mining/Reclamation Plan         | <input type="checkbox"/> Curb, Gutter & Sidewalk Waiver           |  |
| <input type="checkbox"/> Other                                   | <input type="checkbox"/> Modification to approved land use permit |  |

## APPLICANT INFORMATION Check box for contact person assigned to this project

☒ Landowner Name Kevin & Patricia Martin Daytime Phone 441-8257  
Mailing Address 224 Squire Cyn Rd SLO Zip 93401  
Email Address: Patwover@aol.com

☐ Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip \_\_\_\_\_  
Email Address: \_\_\_\_\_

☒ Agent Name HEIDI GIBSON, ARCHITECT Daytime Phone 594-0771  
Mailing Address 554 LAWRENCE DR. Zip 93401  
Email Address: heidi@hg-studio.com

## PROPERTY INFORMATION

Total Size of Site: 3.5 acres Assessor Parcel Number(s): 076-273-018

Legal Description: \_\_\_\_\_

Address of the project (if known): 224 Squire Cyn Rd SLO

Directions to the site - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Monte Rd to Squire Cyn.

Describe current uses, existing structures, and other improvements and vegetation on the property:  
PERMIT FOR A WORKSHOP/STUDIO TO BE BUILT THIS SUMMER.

aj Desc: MUP for distance waiver for ~~secondary dwelling~~ guest house.

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): NEW 3,277 SQ. FT.  
RESIDENCE W/ATTACHED 2-CAR GARAGE. Future

## LEGAL DECLARATION

I, the owner of record of this property have completed this form accurately and declare that all statement here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 5/4/05

## FOR STAFF USE ONLY

Reason for Land Use Permit: Distance Waiver for ~~secondary dwelling~~ becoming a guest house.

~~Secondary 5 to be 650 sq. ft.~~

Brian Redrothi DID PreApp



CDF/San Luis Obispo County  
Fire Department

635 N. Santa Rosa • San Luis Obispo • California, 93405

June 8, 2005

County of San Luis Obispo  
Department of Planning/Building  
County Government Center  
San Luis Obispo, CA 93408



Dear South County Team,

## MINOR USE PLAN

**Name: Martin**

**Project Number: DRC2004-00242**

The department has reviewed the minor use plans submitted for the proposed single family residence project located at 224 Squire Cyn. Rd., San Luis Obispo. The property is located within high fire hazard severity area, and will require a minimum 6-8 minute response time from the nearest County Fire Station.

**The owner of the project shall meet the minimum fire and life safety requirements of the California Fire Code (1998 edition) with amendments. This fire safety plan shall remain on the project site until final inspection. The following standards are required:**

### BUILDING SETBACKS

- All parcels one acre and larger shall provide a minimum 30-foot setback from all property lines.

### ROOF COVERINGS

- All new structures within high fire severity zones shall have a minimum of at least a class 'B' roof covering.

### RESIDENTIAL FIRE SPRINKLER SYSTEM

- The proposed project shall provide a fire sprinkler system in the residence.
- The fire sprinkler system shall comply with National Fire Protection Association Pamphlet 13D.
- Three sets of plans shall be submitted to the County Building Departments.

### WATER STORAGE TANK

- A minimum of 5,600 gallons of water in storage shall be required.
- Emergency water tanks shall have a:
  1. automatic fill,
  2. sight gage,
  3. venting system,
  4. minimum 4-inch plumbing schedule 40 PVC or iron pipe.
- The system shall gravity drain to **residential fire connection**.

### WATER SUPPLY CONNECTION

- One residential fire connection shall be required.
- The connection shall be:
  1. on the driveway approach to the residence,
  2. not less than 50 feet, or exceed 150 feet from the residence,
  3. within 8 feet of driveway,
  4. two feet above grade,
  5. brass with 2½ inch National Standard male hose thread and cap,
  6. identified by a blue reflector,
  7. 8 feet from flammable vegetation.



- The Chief shall approve other uses not identified.

## ROADS STANDARDS

- Access roads provide vehicular access to more than one lot of record or to one lot of record with more than four dwelling units.
- Access road widths shall be a minimum of 18 feet.
- Access roads shall have an unobstructed vertical clearance of not less than 13' 6".
  1. Access roads shall be named and signed.
- Road naming and signing shall occur prior to building final.
- Road name and sign information is available by phoning 781-5199.

## DRIVEWAY STANDARDS

- The driveway width shall be 16 feet,
- A driveway exceeding 300 feet shall provide turnaround within 50 feet of the residence.
  1. Turnarounds shall be a minimum 40-foot radius or a hammerhead/T 60 feet long.

## ACCESS ROAD AND DRIVEWAY SURFACES

- Access roads and driveways surfaces shall be:
  1. All weather surfaced to a maximum grade of less than 12%.
  2. Asphalt or concrete with a non-skid finish for any grade exceeding 12% to a maximum grade of 16%.
  3. Meet a load capacity of 20 tons

## ADDRESSING

- Legible address numbers shall be placed on all residences.
- Legible address numbers shall be located at the driveway entrance.

## VEGETATION CLEARANCE

To provide safety and defensible space the following shall be required:

- To each side of roads and driveways a 10-foot fuel-break shall be provided.
- Maintain around all structures a 30-foot firebreak.
  1. This does not apply to landscaped areas and plants.
- Remove any part of a tree that is within 10 feet of a chimney outlet.
- Maintain any tree adjacent to or overhanging any building free of deadwood.
- Maintain the roof of any structure free of leaves, needles or other dead vegetative growth.

## FINAL INSPECTION

- The project will require final inspection. **Please allow five (5) working days for final inspection.** When the safety requirements have been completed, **call Fire Prevention at (805) 543-4244, extension 2220**, to arrange for a final inspection. Currently Southern San Luis Obispo County inspections occur on Tuesdays and North County inspections occur on Thursdays.

Further information may be obtained from our website located at [www.cdfslo.org](http://www.cdfslo.org) ~ Planning and Engineering section. If we can provide additional information or assistance, please call (805) 543-4244.

Sincerely,

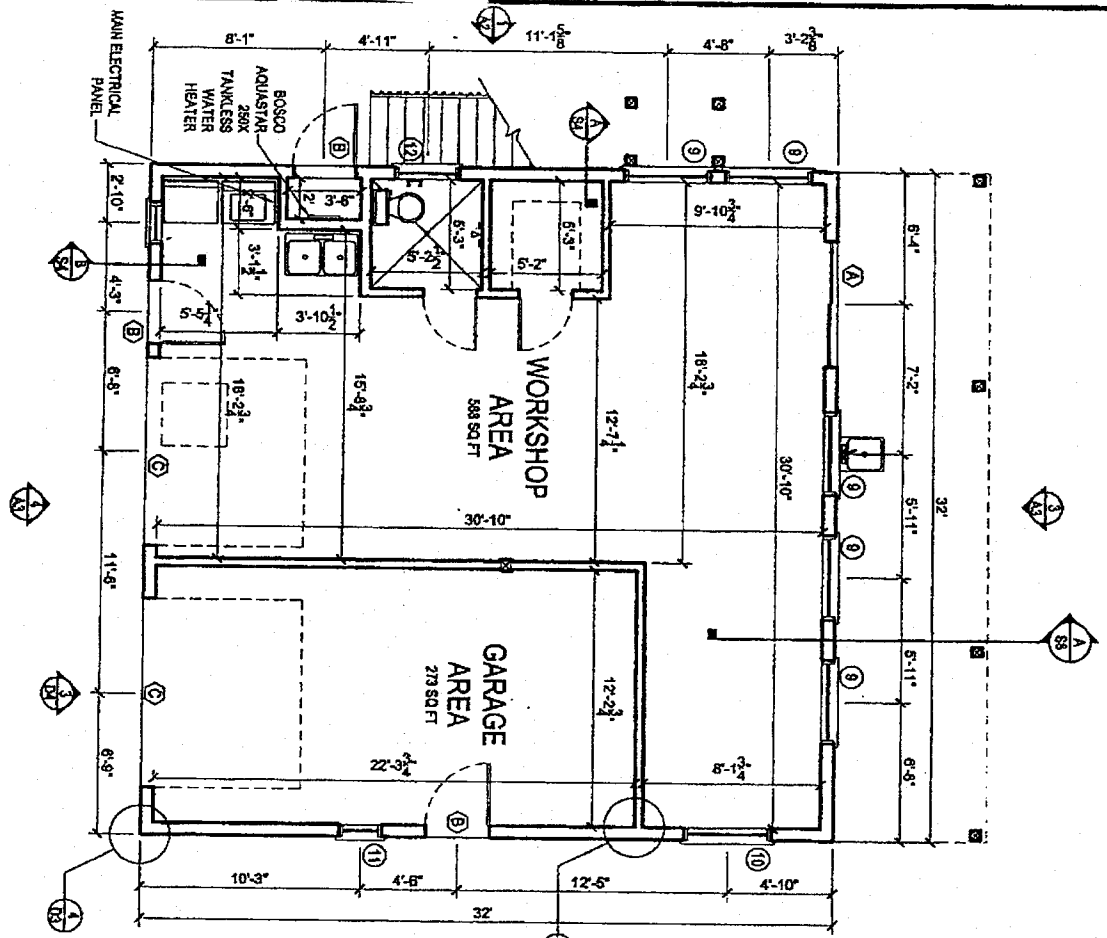


Gilbert R. Portillo

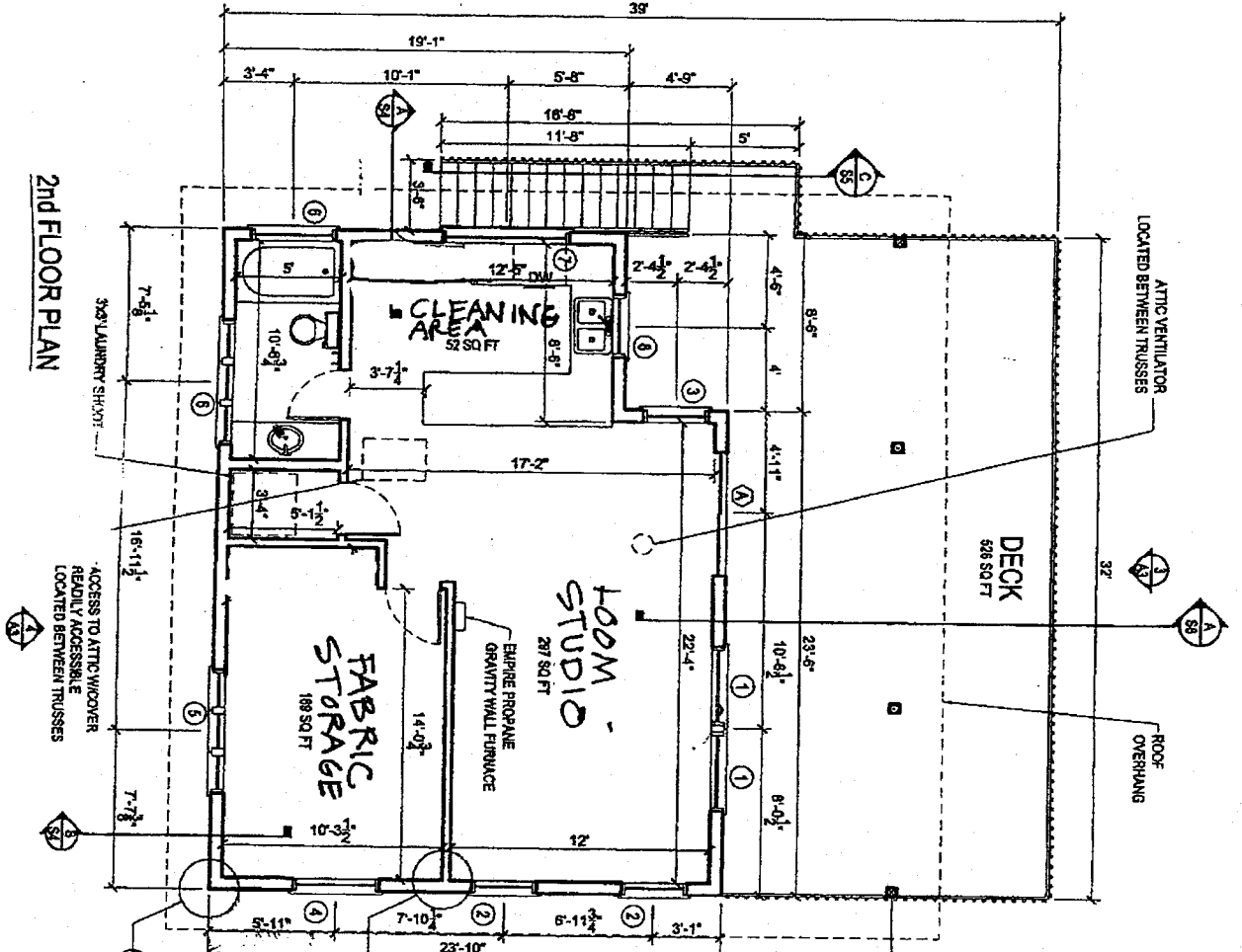
Fire Inspector

C:Mr. Kevin Martin, owner  
Heidi Gibson, Architect

# 1st FLOOR PLAN



# 2nd FLOOR PLAN



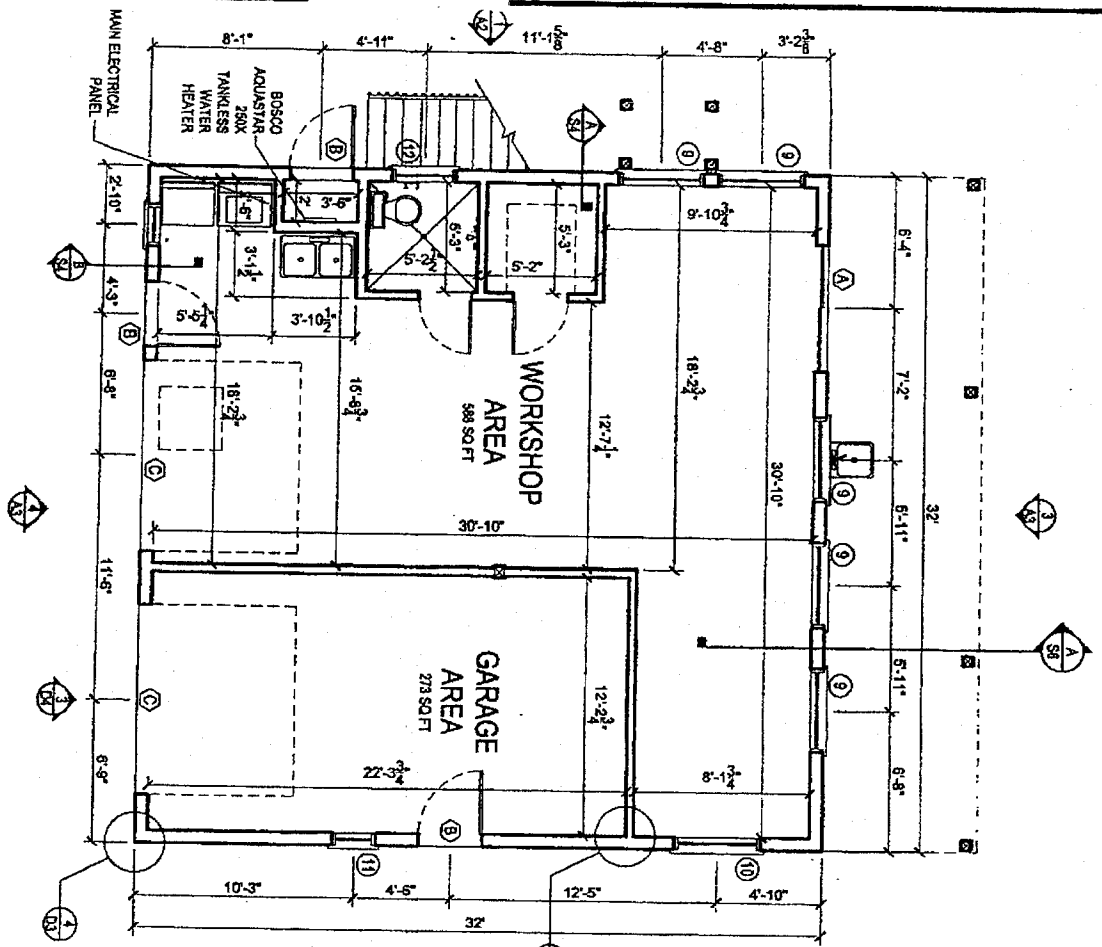
## WINDOW SCHEDULE

MARK	SIZE	DESCRIPTION	QTY	SYMBOL
1	48" X 72"	AWNING ABOVE PICTURE WINDOW, LIVING ROOM	2	
2	36" X 18"	AWNING, LIVING ROOM	3	
3	36" X 18"	SINGLE CASEMENT, LIVING ROOM	1	
4	7' X 7'	SINGLE CASEMENT, BEDROOM	1	
5	24" X 18"	GROUP WINDOW, TOTAL WIDTH 72", BEDROOM	3	

## DOOR SCHEDULE

MARK	SIZE	DESCRIPTION	QTY	SYMBOL
A	6'-0" X 8'-0"	EXTERIOR SLIDING DOOR	2	

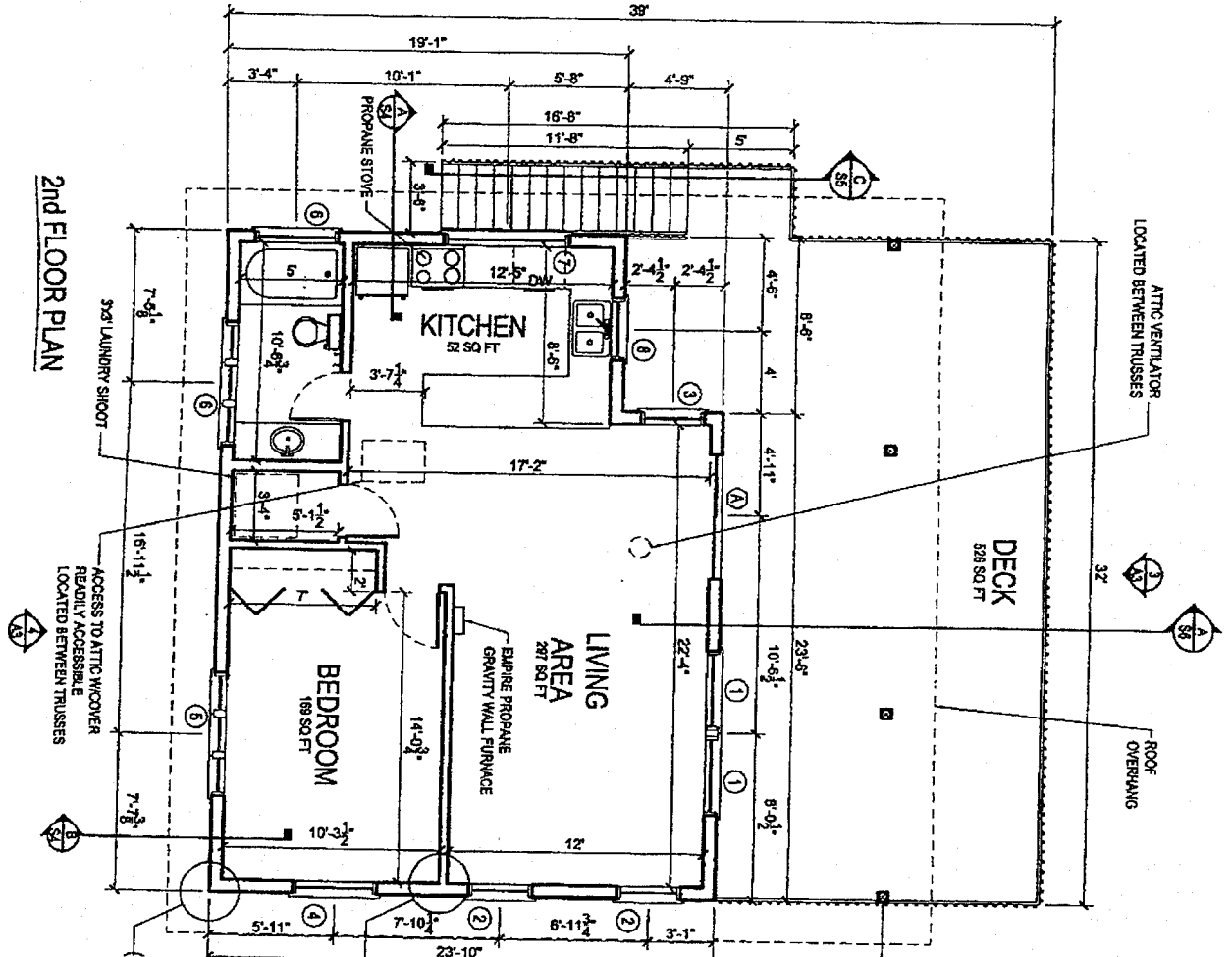
## 1st FLOOR PLAN



## WINDOW SCHEDULE

MARK	SIZE	QTY	DESCRIPTION
1	48" X 72"	2	AWNING ABOVE PICTURE WINDOW, LIVING ROOM
2	36" X 18"	2	AWNING, LIVING ROOM
3	36" X 36"	1	SINGLE CASEMENT, LIVING ROOM
4	7' X 7'	1	SINGLE CASEMENT, BEDROOM
5	24" X 18"	3	GROUP WINDOW, TOTAL WIDTH 72", BEDROOM
6	24" X 36"	1	

## 2nd FLOOR PLAN



## DOOR SCHEDULE

MARK	SIZE	QTY	DESCRIPTION
A	6'-0" X 8'-0"	2	EXTERIOR SLIDING DOOR
B	3'-0" X 6'-0"	3	EXTERIOR SWING DOOR